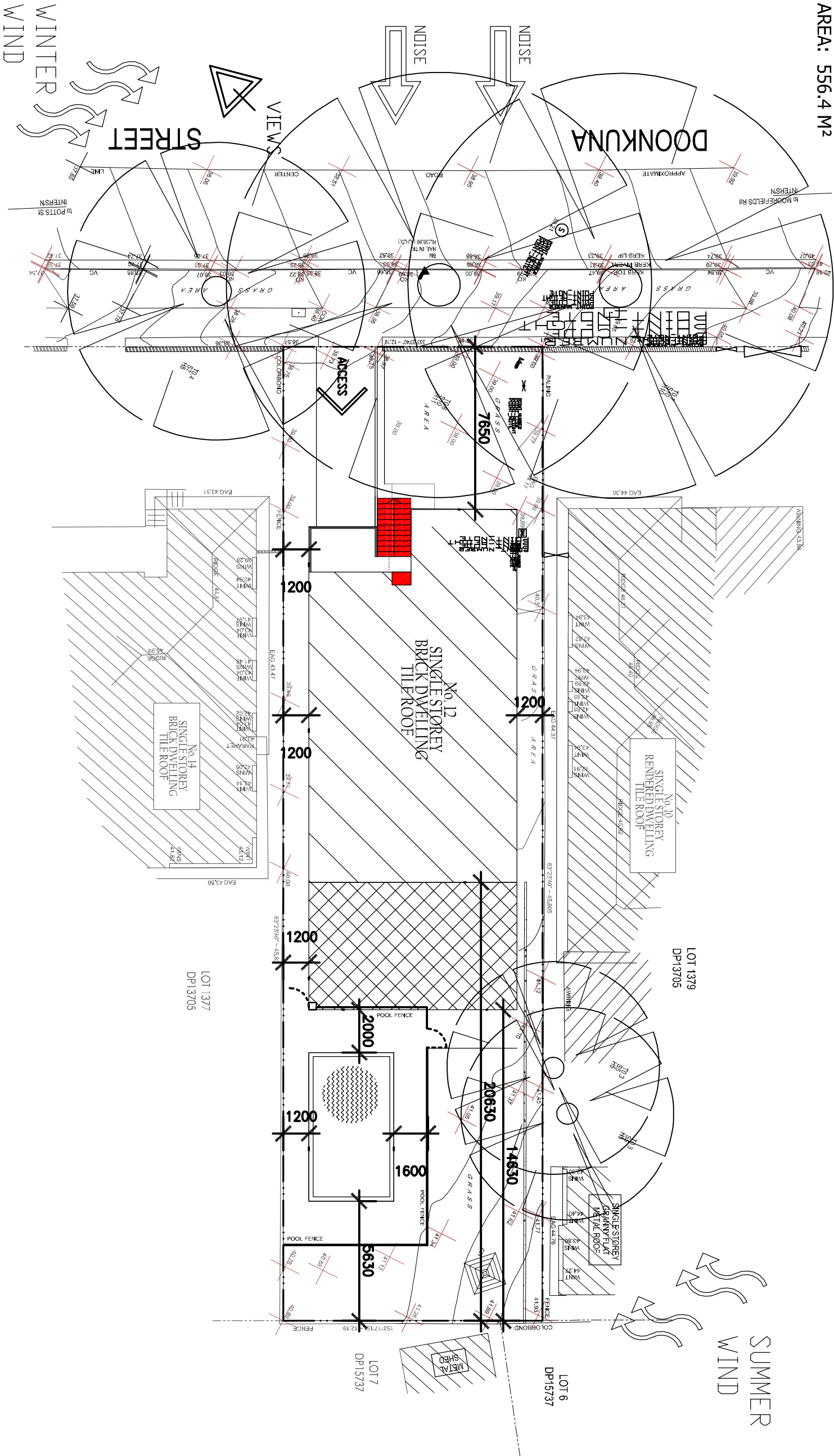
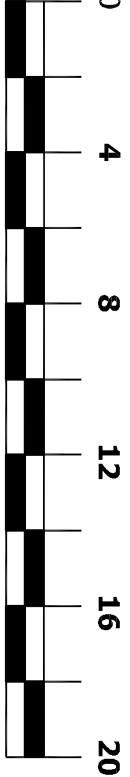


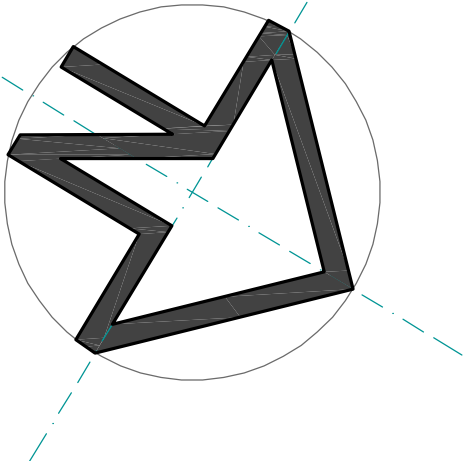
THIS PLAN IS DN M.M.
LOT 1378 DP 13705
SITE AREA: 556.4 M2



SITE ANALYSIS PLAN



SCALE 1:200



DO NOT SCALE THIS DRAWING. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES TO BE REPORTED TO MGRUPE IMMEDIATELY. IF IN DOUBT, PLEASE ASK MGRUPE FOR CLARIFICATION.

ANY VARIATION FROM THESE DIMENSIONS REQUIRE WRITTEN APPROVAL FROM MGRUPE.

THIS DRAWING HAS BEEN PRODUCED TO ILLUSTRATE DESIGN INTENT. ALL SHOP DRAWINGS ARE TO BE SUBMITTED AND SIGNED OFF BY MGRUPE PRIOR TO MANUFACTURE OR CONSTRUCTION.

CONTRACTOR ARE TO LIAISE WITH THIRD PARTY SUPPLIERS TO CONFIRM EXACT REQUIREMENTS.

LEGEND

- WINDS DIRECTION
- VIEWS
- POTENTIAL NOISE
- TREE TO BE REMOVED
- SITE ACCESS
- STRUCTURE TO BE REMOVED

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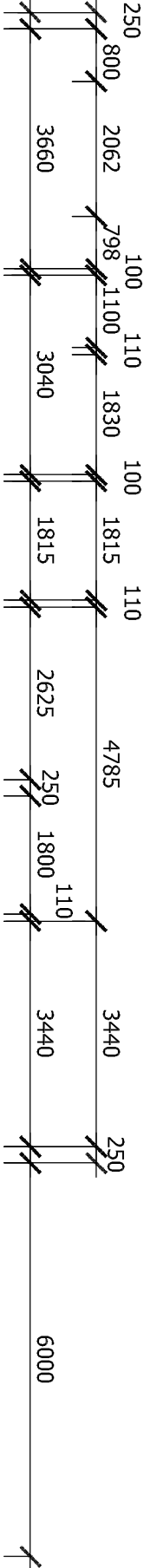
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Tel: 02 9553 8777
Fax: 02 9553 7177
Email: john@mgrouppe.com.au
anthony@mgrouppe.com.au
sam@mgrouppe.com.au
john.beat@mgrouppe.com.au

PROPOSED ALTERATION AND ADDITION

FOR : DOONKUNA STREET TILLS 18/17 22/9
FOR : JAMES DOONKUNA
DRAWN BY : S.L. ANDERSON
DATE : NOV 2019
DRAWING : No.8279/19
REV A
SCALE : 1:200 A3
SHEET : 1
DATED : 3/05/22

SECTION 4.55 APPLICATION FOR ALL CHANGES IN RED



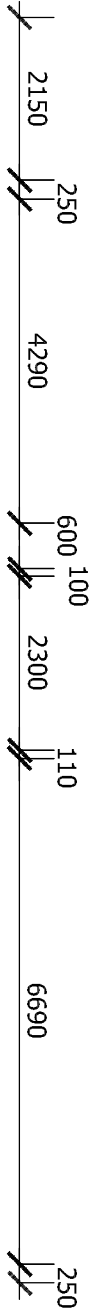
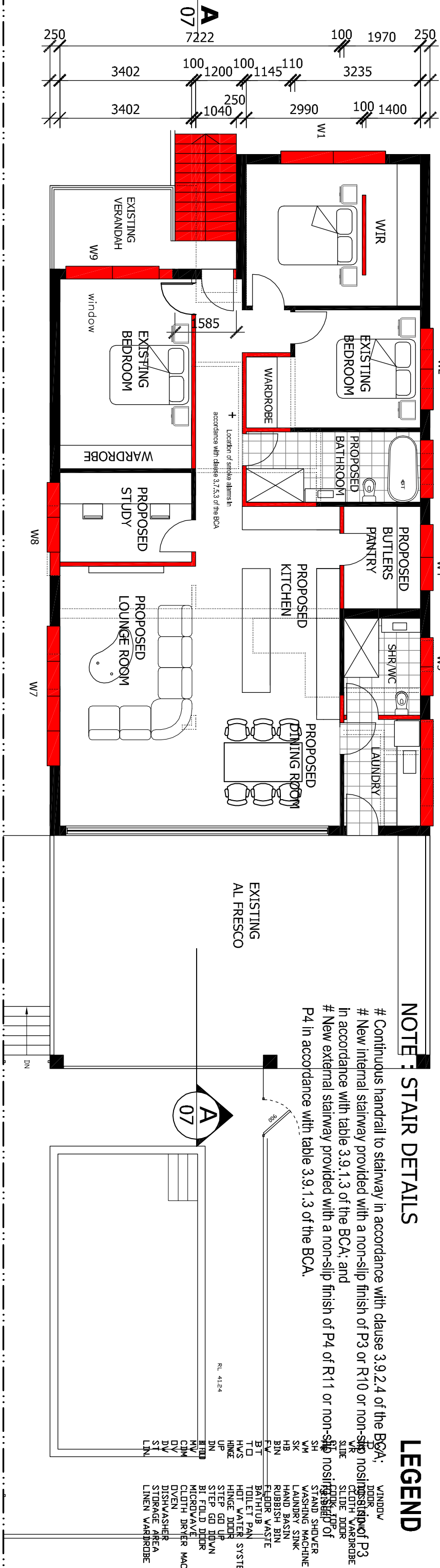
SPECIAL NOTES :
1. The site depicted is for the proposed building works by Builder.
The setback dimensions shown on this plan are approximate, and the actual dimensions may vary from the house to the fence on site. The dimensions may vary subject to a surveyor's peg-out from the actual boundaries.
NOT FOR CONSTRUCTION-
These dimensions are for reference only and should not be used for construction. The dimensions should be taken by the author if these plans are altered in any way.

NOTE : STAIR DETAILS

- # Continuous handrail to stairway in accordance with clause 3.9.2.4 of the BCA;
- # New internal stairway provided with a non-slip finish of P3 or R10 or non-slip nosing of P3 in accordance with table 3.9.1.3 of the BCA; and
- # New external stairway provided with a non-slip finish of P4 or R11 or non-slip nosing of P4 in accordance with table 3.9.1.3 of the BCA.

LEGEND

- WINDOW
- DOOR
- WIR
- CLOTH WARDROBE
- SLIDE DOOR
- STAND SHOWER
- WASHING MACHINE
- LAUNDRY SINK
- HAND BASIN
- RUBBISH BIN
- FLUOR WASTE
- BATHTUB
- TOILET PAN
- HOT WATER SYSTEM
- HINGE DOOR
- STEP GO UP
- BT FOLD DOWN
- MICROWAVE
- CLOTH DRYER
- MAC
- DISHWASHER
- STORAGE AREA
- LINEN WARDROBE



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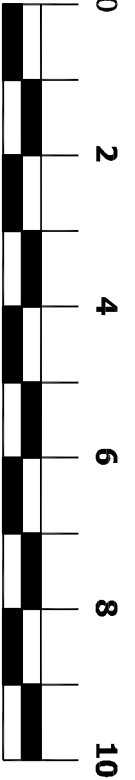
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Email : john@mgroupe.com.au
anthony@mgroupe.com.au
sam@mgroupe.com.au
john.beat@mgroupe.com.au

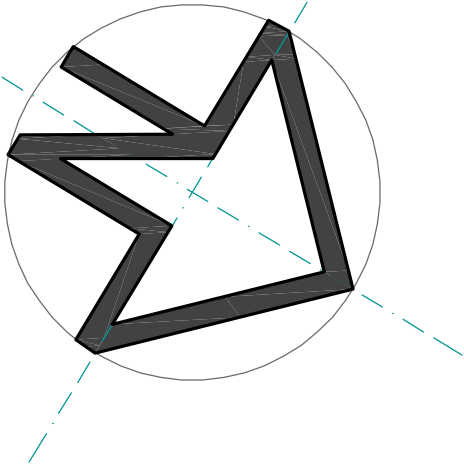
PROPOSED ALTERATION AND ADDITION
FOR : JOHN BEAT (P) 15/01/2019
FOR : ZAKS AND ANDERSON
DRAWN BY : S.L.
DATE : NOV 2019
DRAWING : No.8279/19
REV A
SHEET : 3
DATED : 3/09/22

SECTION 4.55 APPLICATION FOR ALL CHANGES IN RED

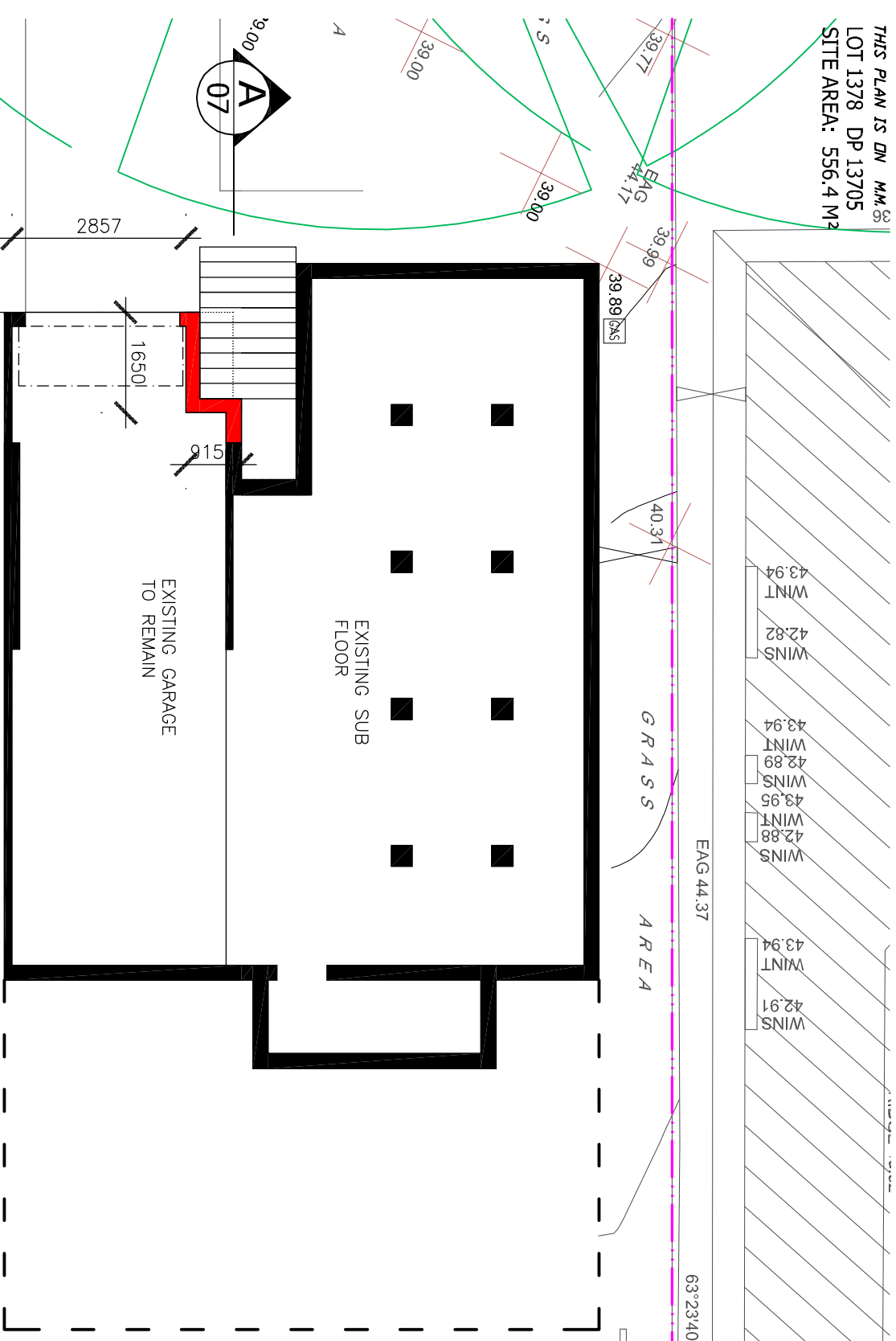
GROUND FLOOR PLAN



SCALE 1:100



THIS PLAN IS ON M.M. 66
LOT 1378 DP 13705
SITE AREA: 556.4 M²



WINS	WINT
42.91	43.94
WINS	WINT
42.88	43.95
WINS	WINT
42.89	43.94
WINS	WINT
42.82	43.94
WINT	43.94

EAG 44.37

63°23'40" ~ 45.805

GRASS AREA

Exhaust air from bathroom adjacent to guest bedroom discharged directly outside in

accordance with clause 3.8.7.3 of the BCA;

NOTE : STAIR DETAILS

Continuous handrail to stairway in accordance with clause 3.9.2.4 of the BCA;

in accordance with table 3.9.1.3 of the BCA; and

New external stairway provided with a non-slip finish of P4 of R11 or non-slip nosing strip of P4 in accordance with table 3.9.1.3 of the BCA

SINGLE STOREY
GRANNY FLAT
SPECIAL NOTES OF

SPECIAL NOTES:

All plans submitted to the Site Checklist prior to any commencement of Building Works by Builders.

Site sketch/dimensions shown on this plan are approximate, and based on measurements taken from the houses on the verge or slightly during construction – subject to a surveyor's peg-out from the actual boundaries.

N.B. AFTER CONSTRUCTION:
These plans shall not be used other than for the sole purpose of determining the location of the "step" signs. No responsibility will be taken by the author if these plans are altered in any way.

42.30
WINS

LEGEND



SH	STAND SHOWER
WM	WASHING MACHINE
SK	LAUNDRY SINK
3JB	HAND BASIN
BIN	ROBUST BIN
FV	FLOOR WASTE
BY	BATHTUB
TD	TOILET PAN
HWS	HOT WATER SYSTEM
HINE	HINGE DOOR
UP	STEP GO UP
DN	STEP GO DOWN
BID	BID FOLD DOOR
MV	MICROWAVE
CDM	CLOTH DRYER
DV	DISHWASHER
ST	STORAGE AREA
LNL	LINEN WARDROBE

40.88

~~40.78~~

LOT 1377
DP13705

No. 14
SINGLE STOREY
BRICK DWELLING
TILE ROOF

SUB FLOOR PLAN

SCALE 1:100

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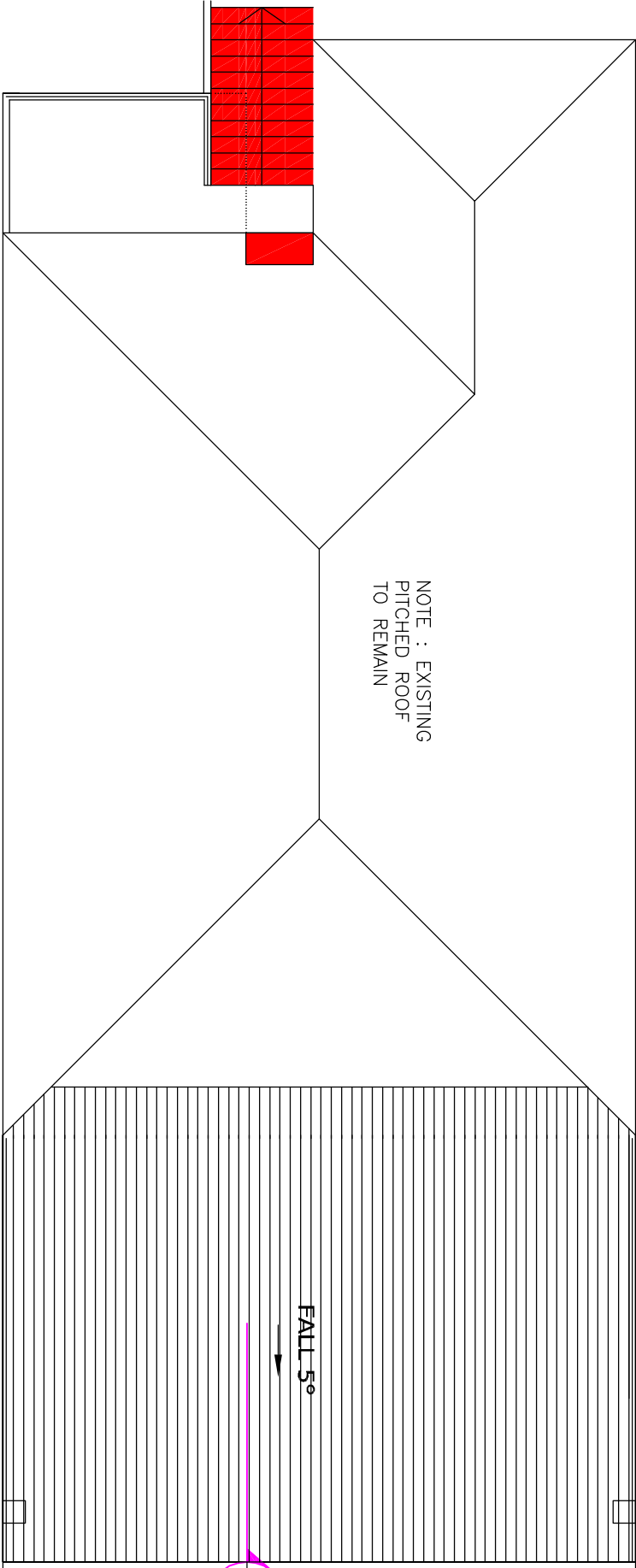
Tel: 02 9553 8777
Fax: 02 9553 7177
Email: john@mgroupe.com.au
anthony@mgroupe.com.au
sam@mgroupe.com.au
john.boar@mgroupe.com.au

PROPOSED ALTERATION AND ADDITION
 JOB: 12 DOODMAN STREET, REHABILITATE NOV 2009
 FOR: ZAKS AND ANDERSON
 DRAWN BY: S. L.
 DATE: NOV 2019
 DRAWING: No.8279/19
 REV A
 SCALE: 1:100 A3
 SHEET: 2
 DATED: 3/05/22

SPECIAL NOTES :
1. This plan is to be used for the purpose of building works by the owner.
2. The set-back dimensions shown on this plan are approximate, and are not to be used for the purpose of building works by the owner.
3. The dimensions may vary from the house to the fence on site. The dimensions may vary from the house to the fence on site. The dimensions may vary from the house to the fence on site.
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10. The dimensions may vary from the house to the fence on site. The dimensions may vary from the house to the fence on site. The dimensions may vary from the house to the fence on site.

LEGEND

W	WINDOW
DD	DOOR
DS	DISH SINK
WR	CLOTH WARDROBE
SL	SLIDE DOOR
CT	COOK TOP
FR	FRIDGE
SH	SHOWER
WM	WASHING MACHINE
SK	LAUNDRY SINK
HB	HAND BASIN
BN	RUBBISH BIN
FW	FLOOR WASTE
BT	BATHTUB
TD	TOILET PAN
HWS	HOT WATER SYSTEM
HN	HINGE DOOR
UP	STEP GO UP
DN	STEP GO DOWN
BI	BI FOLD DOOR
MV	MICROWAVE
CDM	CLOTH DRYER
DV	DISHWASHER
ST	STORAGE AREA
LN	LINEN WARDROBE



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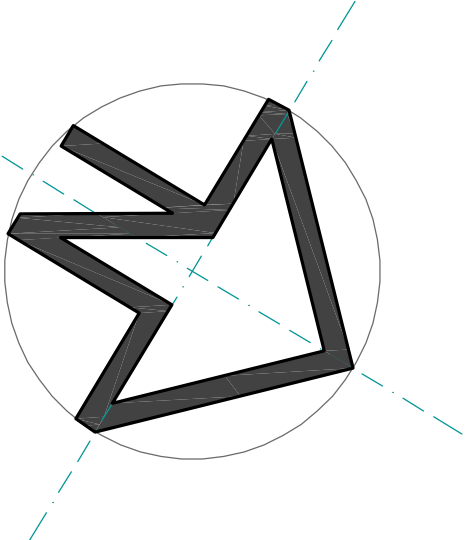
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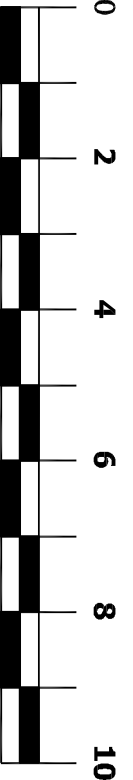
Tel: **02 9553 8777**
Fax: **02 9553 7177**
Email : john@mgroupe.com.au
anthony@mgroupe.com.au
sam@mgroupe.com.au
john.beat@mgroupe.com.au

PROPOSED ALTERATION AND ADDITION
FOR : 12 BARK STREET, BELGRAVE NSW 2209
FOR : ZAKS AND ANDERSON
DRAWN BY : S.L. AND SCALE: 1:100 A3
DATE: NOV 2019
DRAWING : No.8279/19
REV A
SHEET : 4
DATED : 3/09/22

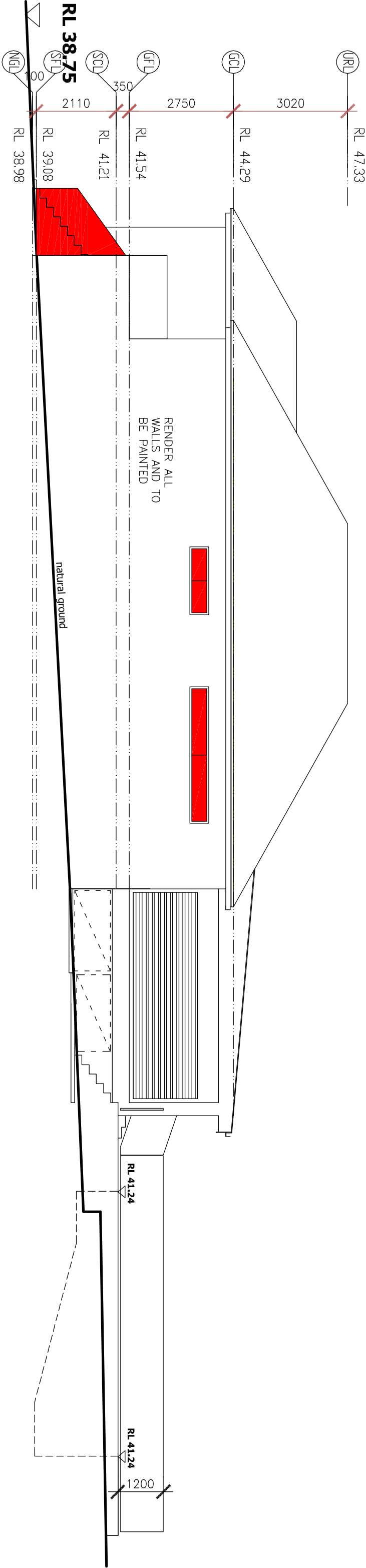
SECTION 4.55 APPLICATION FOR ALL CHANGES IN RED



ROOF PLAN

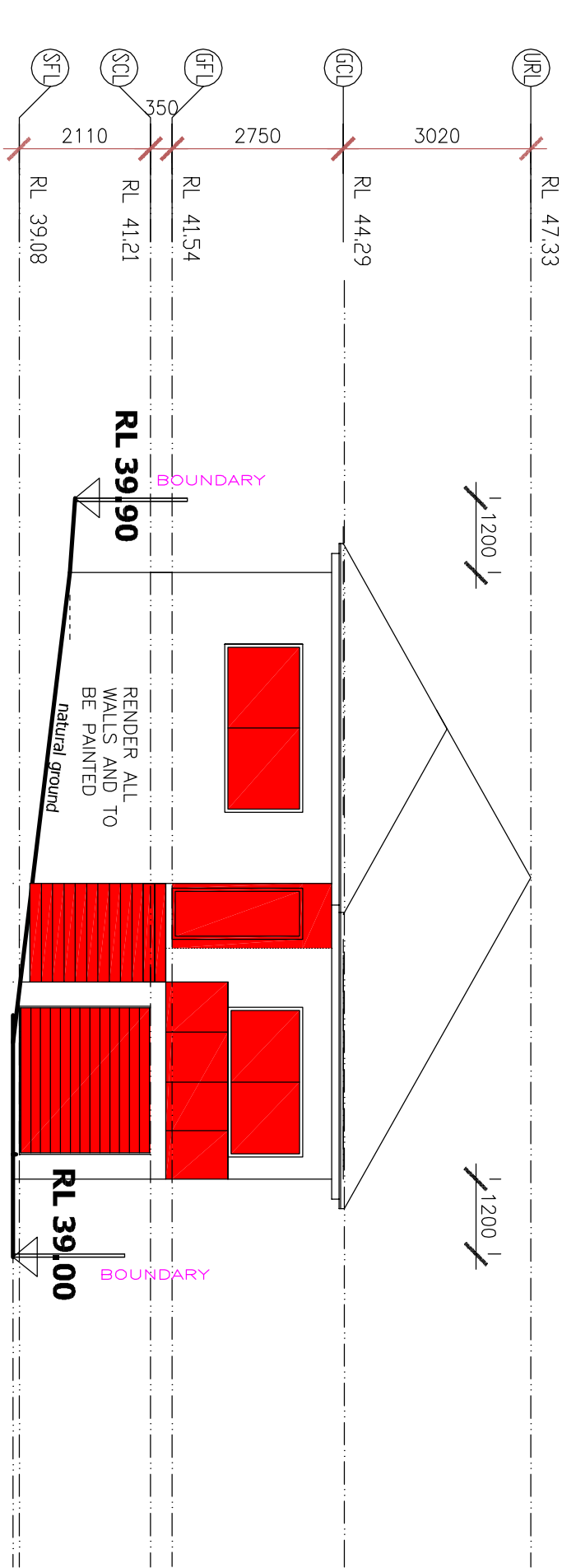


SCALE 1:100



SOUTH EAST ELEVATION

SCALE 1:100



SOUTH WEST ELEVATION

SCALE 1:100

WINDOW DETAIL

- W1 – 2700X1250 SW
- W2 – 2100X600 NW
- W3 – 1500X2100 NW
- W4 – 1700X600 NW
- W5 – 1500X600 NW
- W6 – 2680X600 NW
- W7 – 3600X600 SE
- W8 – 1800X600 SE
- W9 – 2400X1250 SW

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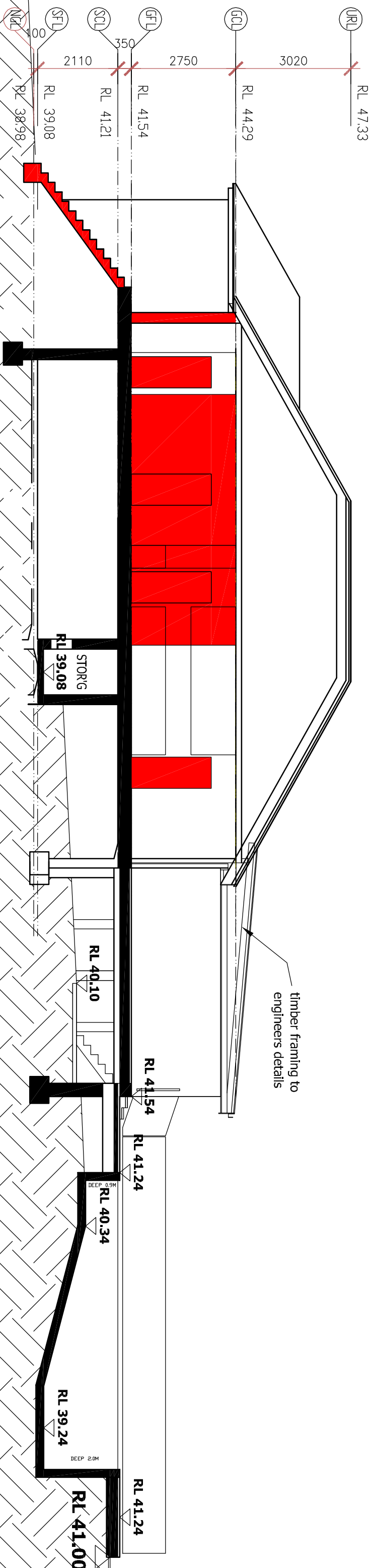
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Tel: **02 9553 8777**
Fax: **02 9553 7177**
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anthony@mgroupe.com.au
sam@mgroupe.com.au
john.beat@mgroupe.com.au

PROPOSED ALTERATION AND ADDITION

FOR : 31 DOWNS STREET BELGRAVE NSW 2209
FOR : ZAKS AND ANDERSON
DRAWN BY : S. L. SCALE: 1:100 A3
DATE : NOV 2019 SHEET : 5
DRAWING : No.8279/19 DATED : 3/09/22
REV A

SECTION 4.55 APPLICATION FOR ALL CHANGES IN RED



SECTION A-A

SCALE 1:100

NOTES

- **TERMINAL RISK MANAGEMENT** COMPLYING WITH PART 3.1.3
- **3.1.2.2 COMPOSING**
 - (a) **TEMPERATURE BARRIER** OR COMBINATION OF BARRIERS INSTALLED IN ACCORDANCE WITH:
 - (i) AS 3660.1:06
 - (ii) PART 3.1.3.3 OF NCC FOR CONCRETE SLABS ON GROUND
 - (iii) PART 3.1.3.4 OF THE NCC FOR SUSPENDED FLOORS
 - (b) **INSTALLATION OF A DURABLE NOTICE PERMANENTLY FIXED TO THE BUILDING IN A PROMINENT LOCATION(METER BOX) INDICATING THE METHOD OF TERMINAL RISK MANAGEMENT**
 - (c) **WHERE A CHEMICAL BARRIER IS USED ITS LIFE EXPECTANCY AS LISTED ON THE NATIONAL AUTHORITY LABEL**
 - (d) **THE INSTALLERS OR MANUFACTURERS RECOMMENDATIONS FOR FUTURE INSPECTIONS**
- **DRAINAGE** COMPLYING WITH PART 3.1.2 NCC VOL 2, AND AS/NZS 3500, INCLUDING:
 - **FOOTING AND SLAB PREPARATION,STEELWORK , CONCRETE AND CONSTRUCTION** COMPLYING WITH PART 3.1.2 AND 3.1.1 NCC VOL 2
 - **INSTALL A CONTINUOUS WATERPROOF MEMBRANE TO ANY SLAB CONSTRUCTION FOR A HABITABLE BUILDING BETWEEN THE CONCRETE FOOTING AND THE WATERPROOFING**
 - **WATERPROOFING OF TIMBER FRAMING** CONSTRUCTION COMPLYING WITH PART 3.4.3 NCC VOL 2, INCLUSIVE OF REQUIREMENTS FOR MEMBER SIZES,SPACES, BRACING, SPANS, LOCATIONS AND STRESS GRADINGS, WERE ROOF TRUSSES ARE TO BE USED, PROVIDE FULL DETAILS OF SAME
 - **PRINCIPAL CERTIFYING AUTHORITY BEFORE ERECTION OF THE ROOF**
 - **SPARKING MATERIALS USED IN THE ROOF OF THE CLASS 1 BUILDING MUST HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5, COMPLYING WITH CLAUSE 3.7.1.9 NCC VOL 2 AND BE SUITABLE FOR WEATHERPROOFING**
 - **MASONRY CONSTRUCTION** COMPLYING WITH PART 2.2 NCC VOL 2
 - **INSTALLATION OF SMOKE DETECTORS TO COMPLY WITH PART 3.1.2.2 NCC VOL 2, INCLUDING CHOICE ALARMS**
 - **STAIR CONSTRUCTION** TO COMPLY WITH PART 3.6.1, NCC VOL 2
 - **INCLUDING GEOMETRY AND CONSTRUCTION REQUIREMENTS**
 - **BALUSTRADES / BARRIERS TO COMPLY WITH PART 3.9.2 NCC VOL 2**
 - **CONSTRUCTION OF BALUSTRADES AND BARRIERS COMPLYING WITH PART 3.8.1, NCC VOL 2 AND AUSTRALIAN STANDARD 3740**
 - **TIMBER FRAMEWORK CONPLYING WITH ALL RELEVANT PROVISIONS OF AUSTRALIAN STANDARD 1684-PARTS 2 & 4 INCLUSIVE OF REQUIREMENTS FOR MEMBER SIZES, SPACES, BRACING , SPANS , LOCATIONS AND STRESSES**
 - **CEILING** INSTALLED AS 3500 PLUMBING AND DRAINAGE AND PART 5 DOMESTIC INSTALLATIONS
 - **CEILING INSTALLATION TO COMPLY WITH NSW PARTS 3.12.1 BUILDING**
 - **BUILDING SEALING TO COMPLY WITH NCC PART 3.12.3**
 - **SERVICES TO COMPLY WITH NCC PART 3.12.5**
 - **STARTS TO COMPLY WITH NCC PART 3.6.1.3**

NOTES:

1. Builder to check all Building and Boundary Dimensions Prior to Commencement of work so that the work can be carried out in accordance to Australian Authorities.
2. All Building work to comply with Australian Building codes and Local Council Requirements.
3. Provide Termite Protection in Accordance with AS3660, 1-1995 Requirements.
4. All Dimensions shown are Theoretical only and are subject to Site Measure during Construction.
5. Do not Scale Of Drawings.
6. Site Boundary Survey to be provided where necessary to confirm Boundary Position in Accordance with Adjoining Properties and Services.
7. Wet area waterproofing shall comply with Part 3.8.1 of B.C.A
8. All stair balustrades to comply with Part 3.9 of B.C.A
9. Mechanical ventilation to all internal bathrooms and w.f.'s shall comply with Part 3.8.5 of B.C.A.
10. All timber framing shall comply with AS 1684 and Part 3.4.8 of B.C.A.
11. All glazing to comply with Part 3.6 of B.C.A.
12. W.C. doors to comply with Part 3.8.3.3 of the B.C.A. (Housing Provisions)

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sam@mgroupe.com.au
john.boar@mgroupe.com.au

PROPOSED ALTERATION AND ADDITION

JOB : 12 DODDINGUA STREET, BEVERLY HILLS NSW 2205
FOR : ZAKIS AND ANDERSON
DRAWN BY : S. L
DATE : NOV 2019
DRAWING : No.82/9/19
REV A
SCALE : 1:100 A3
SHEET : 7
DATED : 3/05/22

SECTION 4.55 APPLICATION FOR ALL CHANGES IN R

11. All glazing to comply with Part 3.6 of B.C.A.
12. W.C. doors to comply with Part 3.8.3.3 of the B.C.A. (Housing Provisions)